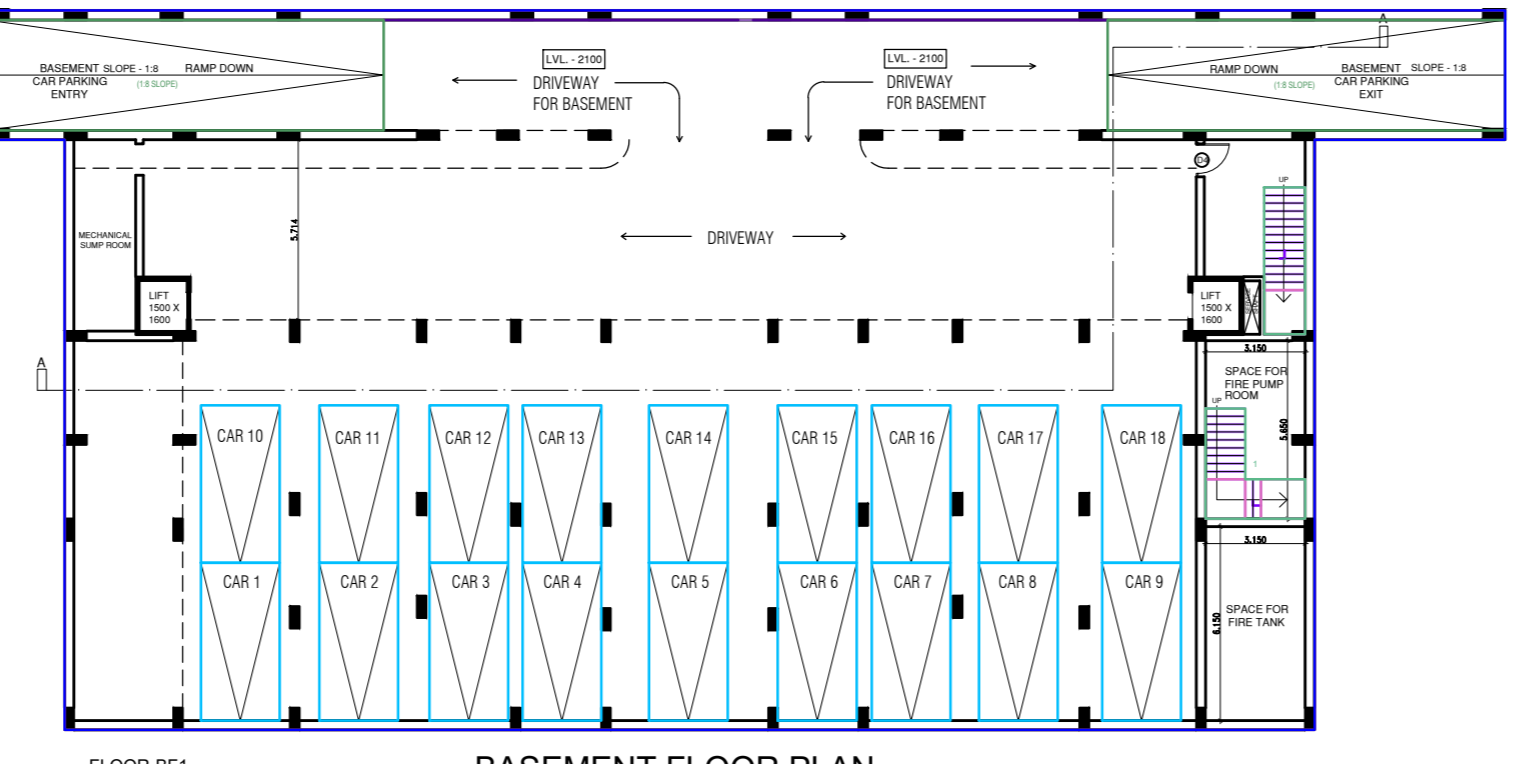
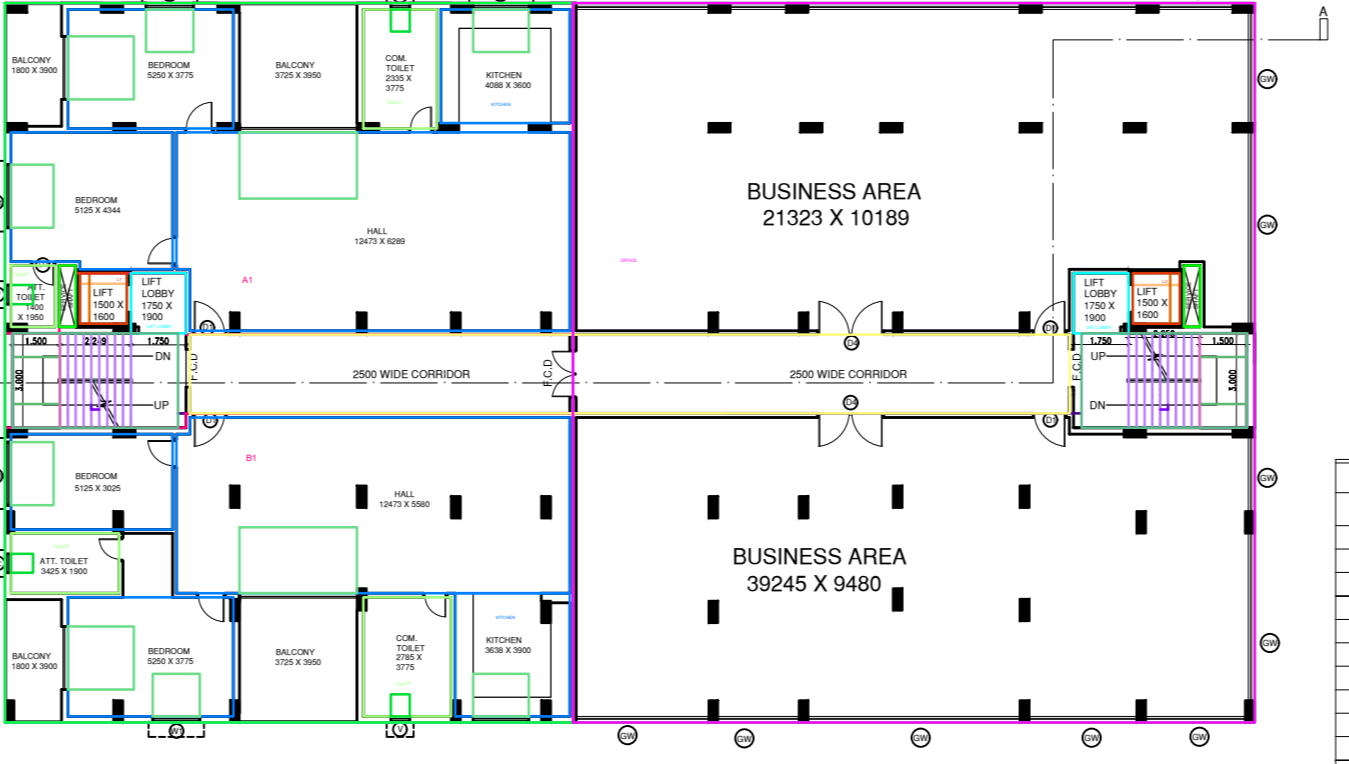


GROUND FLOOR PLAN
SCALE 1:100



BASEMENT FLOOR PLAN
SCALE 1:100



1ST FLOOR PLAN (COMMERCIAL)
SCALE 1:100

NO.	MAINTENANCE	EST. DT.	REMARKS
1	100 X 200	200	WOOD FRAME
2	100 X 200	200	WOOD FRAME
3	100 X 200	200	WOOD FRAME
4	100 X 200	200	WOOD FRAME
5	100 X 200	200	WOOD FRAME
6	100 X 200	200	WOOD FRAME
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13	100 X 200	200	WOOD FRAME
14	100 X 200	200	WOOD FRAME
15	100 X 200	200	WOOD FRAME
16	100 X 200	200	WOOD FRAME
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RESIDENTIAL BUILDING OF MR. UTTAM KUMAR SAMANTA OF SAMANTA INFRACON PVT LTD AT MOUZA-KHIDSOLE, JL. NO-228, PLOT NO-16,17,19 (LR) WARD NO-11 PO& PS -BANKURA UNDER BANKURA MUNICIPALITY

STATEMENT OF CONSENT

STATEMENT OF ENGINEER

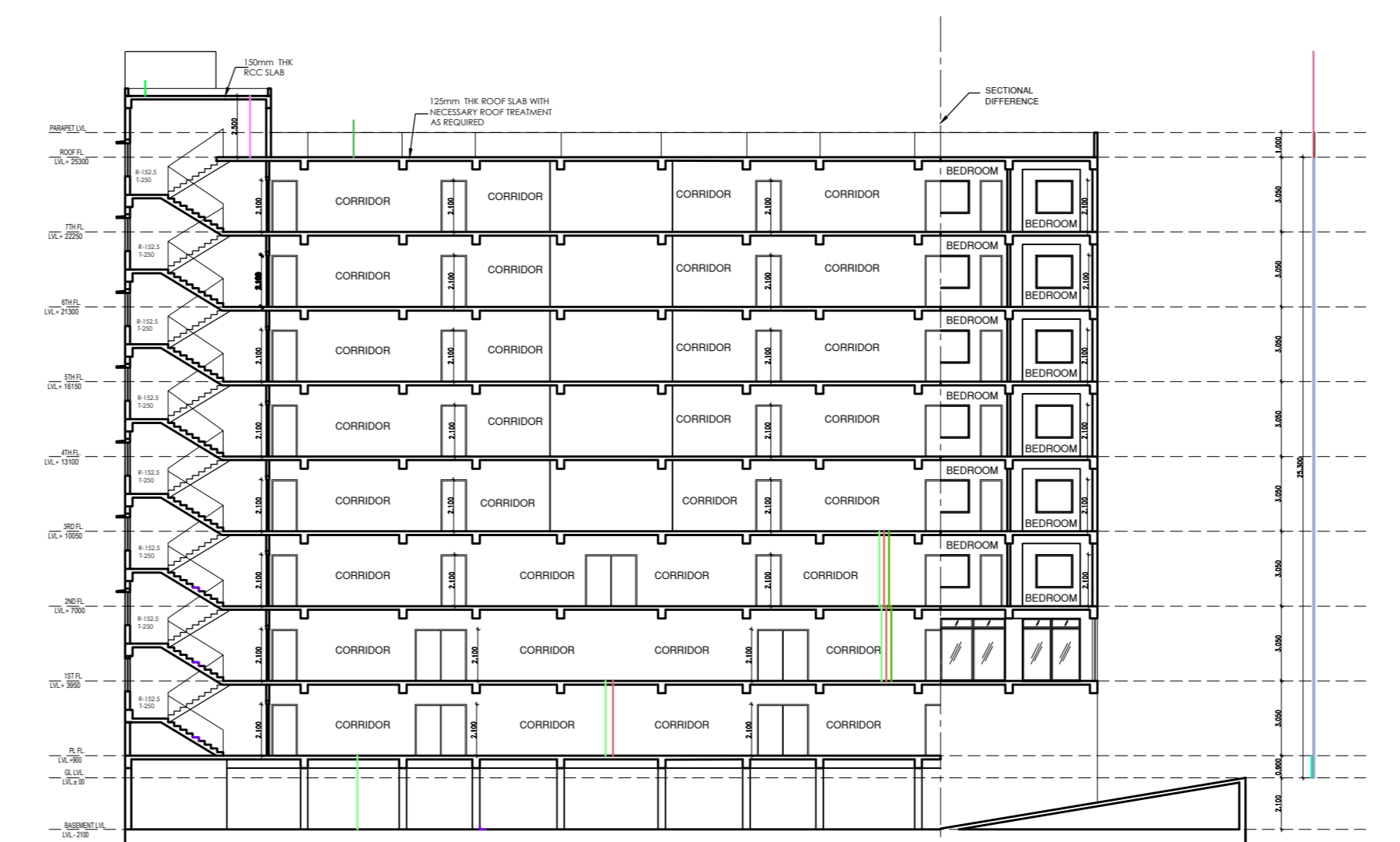
STATEMENT OF ARCHITECT

STATEMENT OF CIVIL ENGINEER

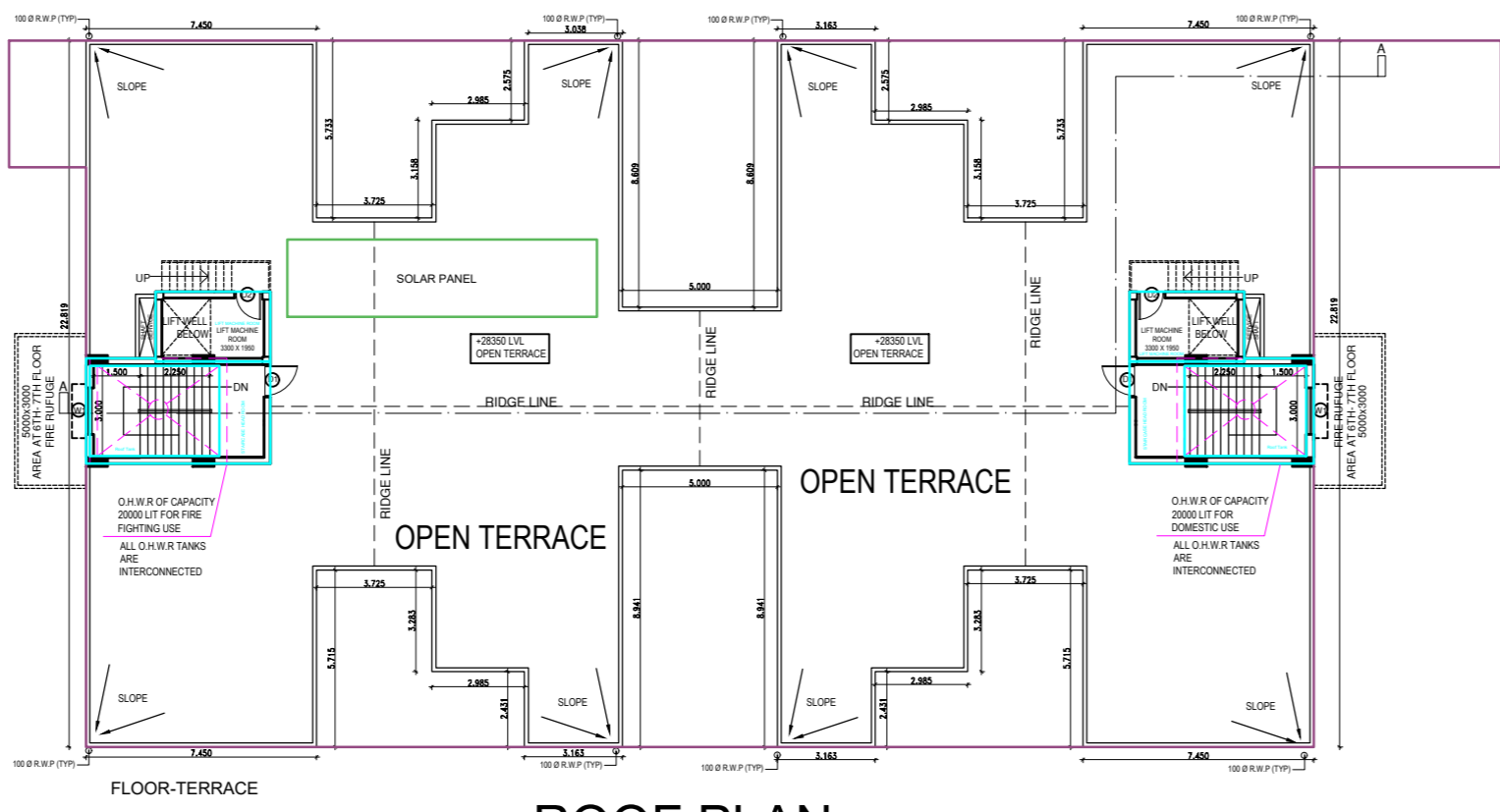
AREA STATEMENT	
Calculation of F.A.R.	Area in sq.m.
Plot area (as per Decree)	2726.37 Sqm
Plot area (as per measurement)	2682.71 Sqm
Permissible Ground Coverage	1284.88 (50%)
Proposed Ground Coverage	960.52 (37.38%)
Width of the access road	More than 24M (Approx.)
Permissible height of building	No height restriction
Proposed height of building	26.35 M
Permissible F.A.R.	3
Permissible F.A.R. Area	2689.71 X 3 = 7706.13 SQ.M
Calculation of F.A.R.	Area in sq.m.
(A) Ground Floor	848.96 SQ.M
(B) 1st Floor	897.96 SQ.M
(C) 2nd Floor	695.03 SQ.M
(D) 3rd Floor	695.03 SQ.M
(E) 4th Floor	695.03 SQ.M
(F) 5th Floor	695.03 SQ.M
(G) 6th Floor	695.03 SQ.M
(H) 7th Floor	695.03 SQ.M
(I) Basement	938.77 SQ.M
Covered Bulthup Area	80.00 SQ.M
Uncovered Bulthup Area	80.00 SQ.M
TOTAL BULTHUP AREA	6936.98 SQ.M
DEFINITION AREA	
Ground Floor exemption	37.5 SQ.M
1st Floor exemption	37.5 SQ.M
Typical (2nd to 7th) Floor exemption	37.5 X 6 = 225 SQ.M
Basement exemption	12.81 SQ.M
Terrace exemption	80.00 SQ.M
Basement Parking Exemption	630 SQ.M
TOTAL EXEMPTION	1022.81 SQ.M
Total Residential area	3923.88 SQ.M
Total Commercial area	1285.04 SQ.M
Required parking for Residential area	13 Nos
Required parking for Commercial area	13 Nos
TOTAL PARKING REQUIREMENT	26 Nos
PROPOSED F.A.R. AREA	6936.97 = 1022.81 SQ.M
PROPOSED F.A.R.	2.564 = 16.50 M
PROPOSED F.A.R. = 1022.81 SQ.M	1022.81 SQ.M



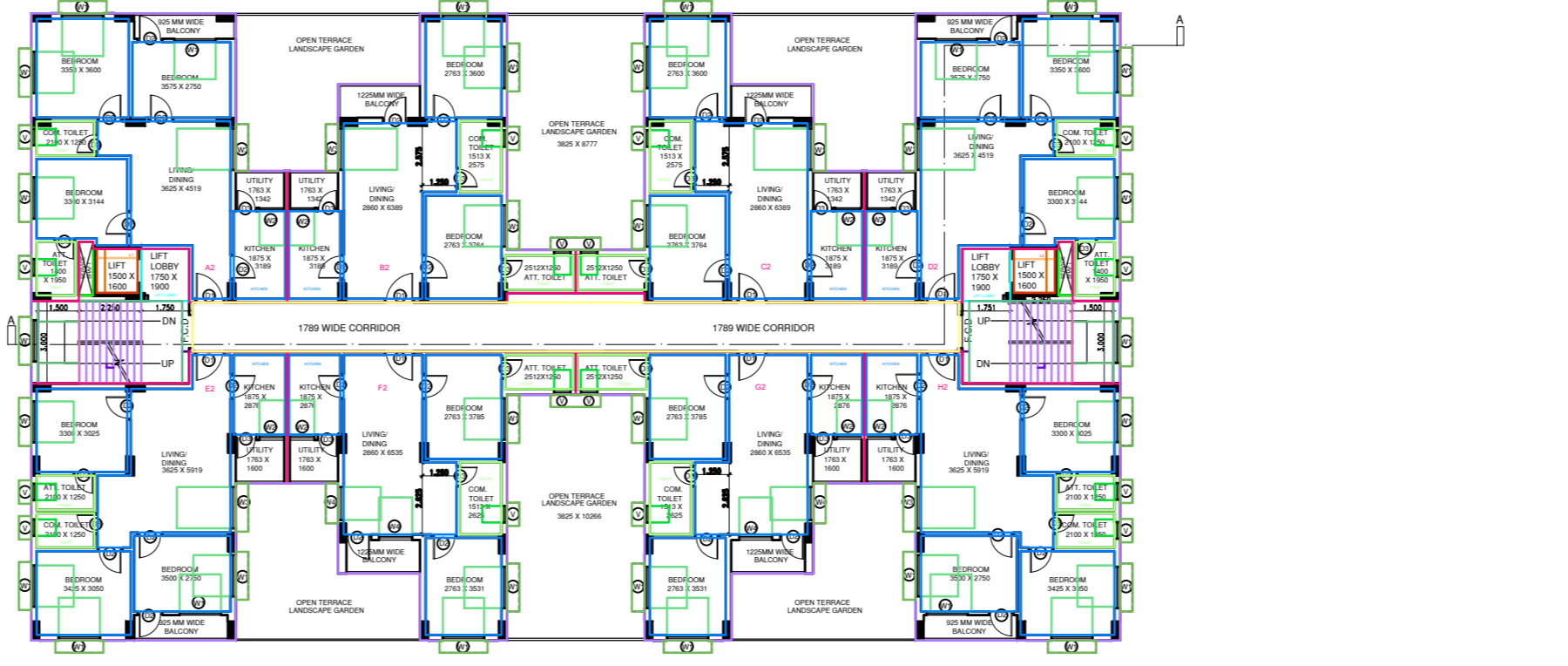
FRONT SIDE ELEVATION
SCALE 1:100



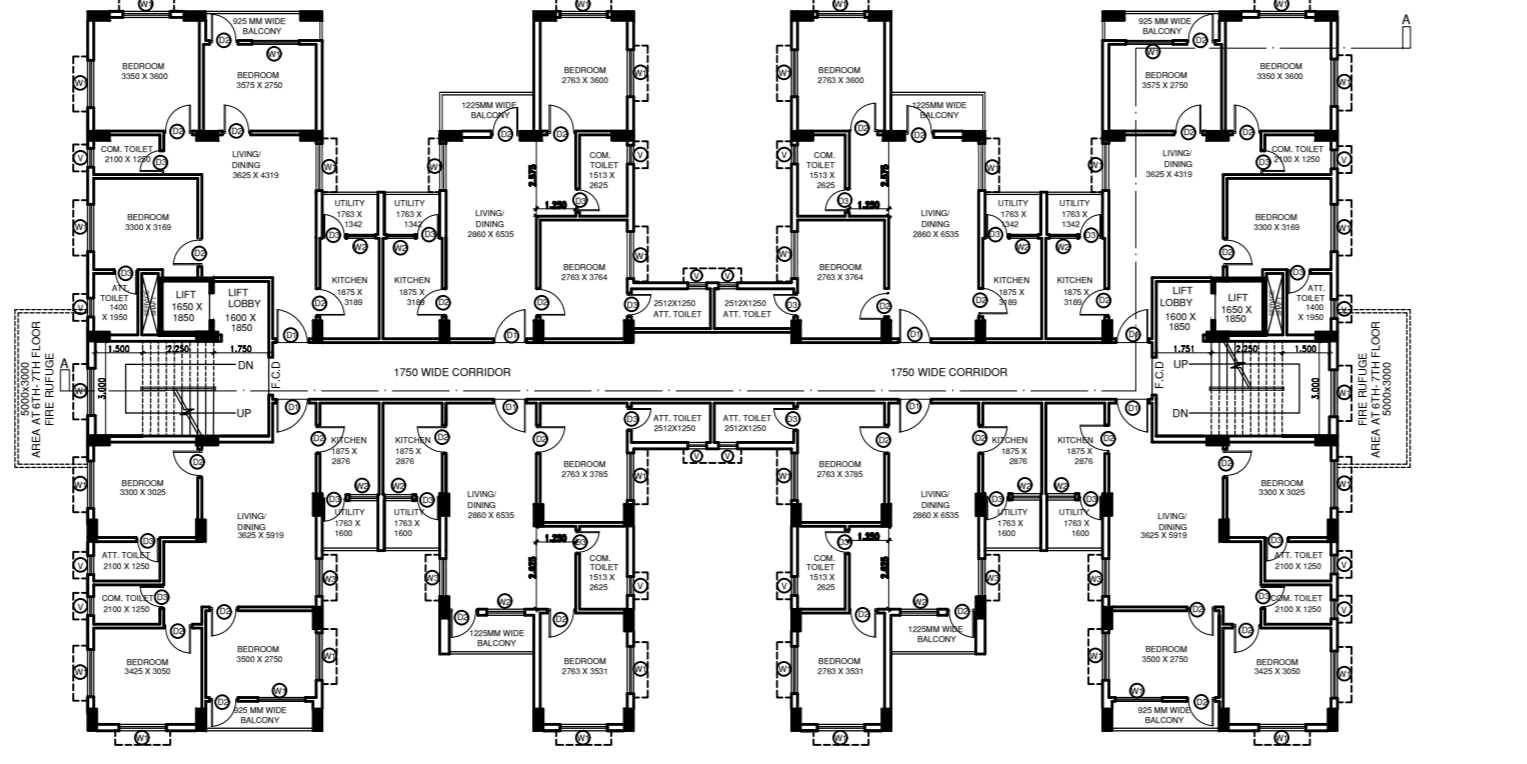
SECTION AA
SCALE 1:100



ROOF PLAN
SCALE 1:100



2ND FLOOR PLAN
SCALE 1:100



(8RD TO 8TH) TYPICAL FLOOR PLAN
SCALE 1:100

RESIDENTIAL BUILDING OF MR. UTTAM KUMAR SAMANTA OF SAMANTA INFRACON PVT LTD AT MOUZA-KHIDSOLE, JL. NO-228, PLOT NO-16,17,19 (LR) WARD NO-11 PO& PS -BANKURA UNDER BANKURA MUNICIPALITY

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STATEMENT OF ENGINEER

STATEMENT OF ARCHITECT

STATEMENT OF CIVIL ENGINEER

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